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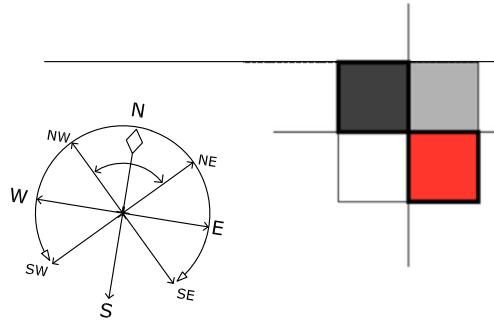
RESIDENTIAL

14 CORAKI ROAD

BASS HILL NSW



LOCATION MAP
NTS



BUILDING DESIGNER
AHMED JADID
119 WILLOUGHBY RD
CROWS NEST , 2065 NSW
MOB: 0404 648 251

REVISIONS	
ISSUE 'A' (STAGE I)	- 25.01.2024
ISSUE 'B' (STAGE I)	- 15.03.2024
ISSUE 'C' (STAGE II)	- 05.04.2024
CLIENT	
ALVIN LAW	
ADDRESS	
14 CORAKI ROAD BASS HILL NSW	
PROJECT	
PROPOSED GROUP HOME	
DRAWN BY	
A.J	
ISSUE DATE	
05.04.2024	
PROJECT NO.	
2024/001	
DESCRIPTION	
COVER PAGE	

REVISION NO.
Ce.1

GENERAL NOTES

CONSTRUCTION REQUIREMENTS ARE TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE, GENERAL

- DRAWINGS PREPARED FROM INFORMATION SUPPLIED BY THE OWNER AND/OR BUILDER.
- DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS SHALL BE VERIFIED ON SITE.
- ACTUAL SURVEYED LEVELS TO TAKE PRECEDENCE.
- DO NOT SCALE OFF DRAWINGS.
- IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY.
- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS.
- NCC REFERS TO THE NATIONAL CONSTRUCTION CODE - VOLUME 2, BUILDING CODE OF AUSTRALIA - CLASS 1 AND CLASS 10 BUILDINGS.

STATUTORY REQUIREMENTS

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC, A93959-2018, THE RFS BUSHFIRE GUIDELINES - PLANNING FOR BUSH
- FIRE PROTECTION 2019 FOR NSW WHICH ARE TO TAKE PRECEDENCE, CONDITIONS IMPOSED BY THE LOCAL AUTHORITY AND THE COMMITMENTS OUTLINED IN THE RELEVANT BASIX CERTIFICATE.
- THE BUILDER IS TO COMPLY WITH THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER THE BUILDING
- WORKS AND THE PROVISIONS OF THE HOME BUILDING ACT.
- PRIOR TO THE COMMENCEMENT OF BUILDING WORK, THE BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF SUBCONTRACTORS WHERE THE LOCAL AUTHORITY REQUIRES THE TEMPORARY TOILET, ON COMPLETION THE BUILDER SHALL REMOVE THE CONVENIENCE.

NCC REQUIREMENTS

- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS AND PART 3.1.1 OF NCC.
- ALL EXCAVATIONS AND UNDER FLOOR FILL SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS AND PART 3.1.1 OF NCC
- ALL EARTH RETAINING STRUCTURES SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS AND PART 3.1.2 OF NCC
- STORM WATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3 OF NCC.
- PRIMARY BUILDING ELEMENTS ARE TO BE PROTECTED FROM SUBTERRANEAN TERMITES IN ACCORDANCE WITH PAR 3.1.4 OF NCC
- ALL FOOTINGS AND SLABS SHALL COMPLY WITH PART 3.2 OF NCC.
- CLAY BRICKWORK SHALL COMPLY WITH PART 3.3 OF NCC, \$ A94113 OR A93100
- MASONRY ACCESSORIES SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH A94113 OR A93100. APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS.
- LINTELS USED TO SUPPORT BRICKWORK OVER WALL OPENINGS SHALL COMPLY WITH A94113 OR A93100 AND BE PROTECTED FROM CORROSION.
- WEATHERPROOFING OF EXTERNAL MASONRY WALLS SHALL BE CARRIED OUT IN ACCORDANCE WITH A94113 OR A93100.
- ENGAGED PIERS IN SINGLE LEAF MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH A94113 OR A93100.

NCC REQUIREMENTS

- PROVIDE ADEQUATE CROSS VENTILATION TO SPACE UNDER SUSPENDED GROUND FLOORS IN ACCORDANCE WITH PART 3.4.1 OF NCC. SUB FLOOR ACCESS TO BE PROVIDED AS INDICATED ON THE PLAN.
- ALL TIMBER FRAMEWORK SHALL COMPLY WITH PART 3.4.3 OF NCC OR A91684.
- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE A91120, AND ERECTED, FIXED AND BRACED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- ROOF CLADDING, GUTTERS AND DOWNPIPES AND WALL CLADDING SHALL BE IN ACCORDANCE WITH PART 3.5 OF NCC
- SARKING SHALL COMPLY WITH A9/NZ94200.1\$2.
- ALL GLAZING SHALL COMPLY WITH PART 3.6 OF NCC.
- FIRE PROPERTIES FOR MATERIALS AND CONSTRUCTION, MUST COMPLY WITH PART 3.1.1 OF NCC.
- FIRE SEPARATION, WHERE REQUIRED, MUST COMPLY WITH PART 3.1.2 OF NCC.
- FIRE PROTECTION OF SEPARATING WALLS AND FLOORS, MUST COMPLY WITH PART 3.1.3 OF NCC.
- FIRE SEPARATION OF GARAGE TOP DWELLINGS, MUST COMPLY WITH PART 3.1.4 OF NCC.
- PROVIDE AND INSTALL HARD WIRED INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH A93186 AND PART 3.1.5 OF NCC.
- INTERNAL WET AREAS AND BALCONIES OVER HABITABLE ROOMS TO BE WATERPROOFED IN ACCORDANCE WITH PART 3.8.1 OF NCC. WET
- AREA WALL LINING IS TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- ALL TIMBER DOORS AND DOOR SETS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH A92041.
- ALL PLUMBING SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND A93000, AND BE CARRIED OUT BY A LICENSED PLUMBER
- .ALL ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND A93000, AND BE CARRIED OUT BY A LICENSED ELECTRICIAN.
- ALL GAS INSTALLATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND BE CARRIED OUT BY A LICENSED GAS FITTER.
- INSTALLATION OF WALL AND FLOOR TILES SHALL BE IN ACCORDANCE WITH A93958.1.
- MECHANICAL VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF NCC.
- BUILDING FABRIC MUST COMPLY WITH PART 3.12.1 OF NCC.
- INSULATION, WHERE REQUIRED, MUST COMPLY WITH A9/NZ94859.1.
- BUILDING IS TO BE SEALED TO THE REQUIREMENTS OF PART 3.12.3 OF NCC, INCLUDING CHIMNEYS, FLUES, ROOF LIGHTS, EXTERNAL WINDOWS AND DOORS, EXHAUST FANS, ROOF, WALLS AND FLOORS.
- SERVICES ARE TO BE INSTALLED TO THE REQUIREMENTS OF NSW PART 3.12.5 OF NCC, INCLUDING HOT WATER SUPPLY, INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING AND HEATING AND COOLING DUCT WORK.

GENERAL SPECIFICATIONS

BUILDING DESIGNER
AHMED JADID
119 WILLOUGHBY RD
CROWS NEST , 2065 NSW
MOB: 0404 648 251

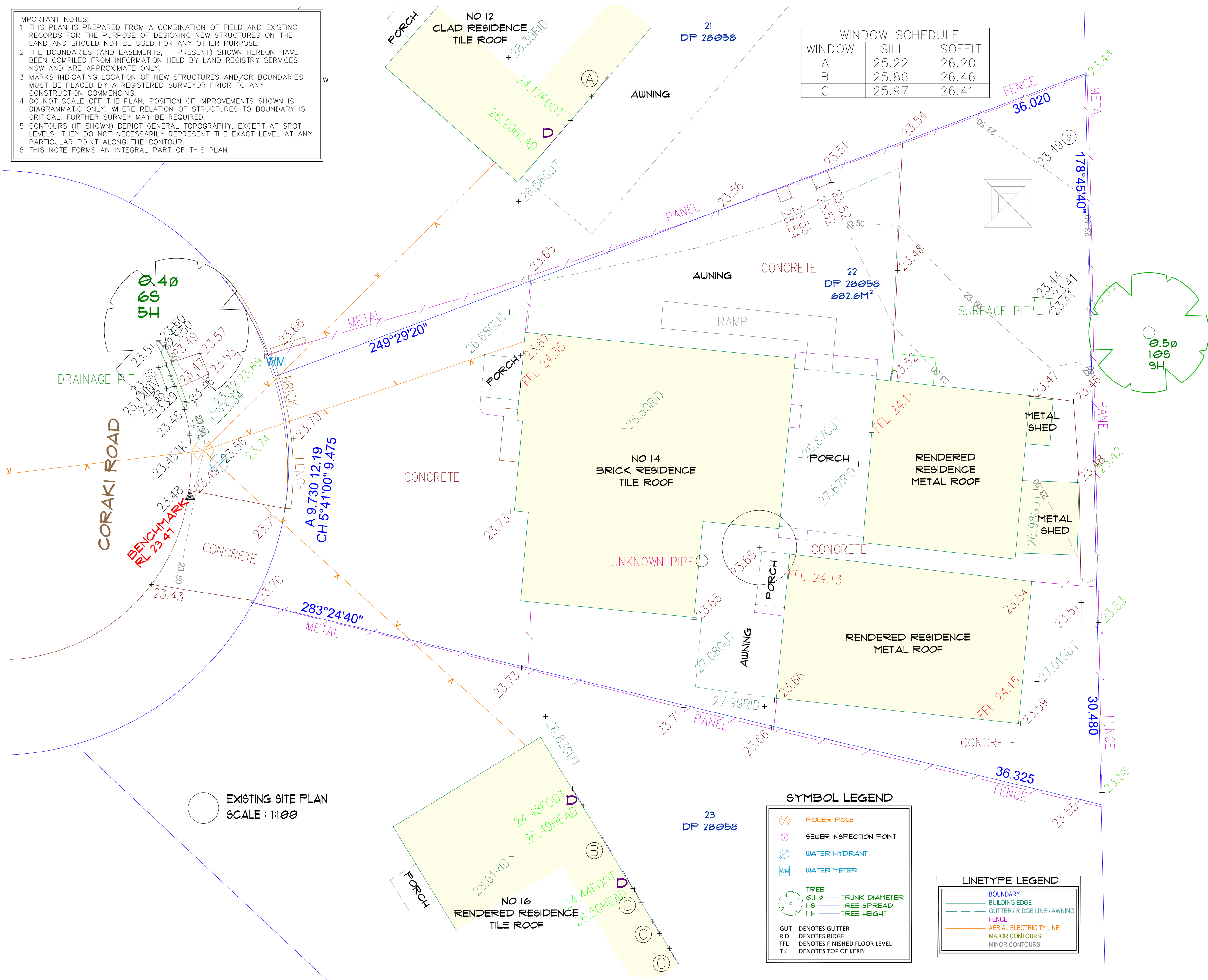
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ISSUE 'A' (STAGE I)	- 25.01.2024
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14 CORAKI ROAD BASS HILL NSW	
PROJECT	
PROPOSED GROUP HOME	
DRAWN BY	
A.J	
ISSUE DATE	
05.04.2024	
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2024/001	
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GENERAL SPECIFICATIONS	

REVISION NO.

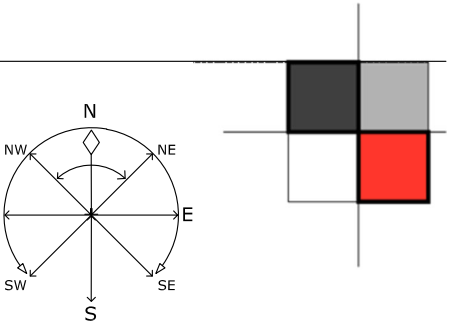
Co.2

A & H BUILDING DESIGNERS PTY LTD

IMPORTANT NOTES:
1 THIS PLAN IS PREPARED FROM A COMBINATION OF FIELD AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW STRUCTURES ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2 THE BOUNDARIES (AND EASEMENTS, IF PRESENT) SHOWN HEREON HAVE BEEN COMPILED FROM INFORMATION HELD BY LAND REGISTRY SERVICES NSW AND ARE APPROXIMATE ONLY.
3 MARKS INDICATING LOCATION OF NEW STRUCTURES AND/OR BOUNDARIES MUST BE PLACED BY A REGISTERED SURVEYOR PRIOR TO ANY CONSTRUCTION COMMENCING.
4 DO NOT SCALE OFF THE PLAN, POSITION OF IMPROVEMENTS SHOWN IS DIAGRAMMATIC ONLY. WHERE RELATION OF STRUCTURES TO BOUNDARY IS CRITICAL, FURTHER SURVEY MAY BE REQUIRED.
5 CONTOURS (IF SHOWN) DEPICT GENERAL TOPOGRAPHY, EXCEPT AT SPOT LEVELS. THEY DO NOT NECESSARILY REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT ALONG THE CONTOUR.
6 THIS NOTE FORMS AN INTEGRAL PART OF THIS PLAN.



WINDOW SCHEDULE		
WINDOW	SILL	SOFFIT
A	25.22	26.20
B	25.86	26.46
C	25.97	26.41



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ISSUE 'A' (STAGE I)	- 25.01.2024
ISSUE 'B' (STAGE II)	- 15.03.2024
ISSUE 'C' (STAGE II)	- 05.04.2024
CLIENT ALVIN LAW	
ADDRESS 14 CORAKI ROAD BASS HILL NSW	
PROJECT PROPOSED GROUP HOME	
DRAWN BY A.J	
ISSUE DATE 05.04.2024	
PROJECT NO. 2024/001	
DESCRIPTION EXISTING SITE PLAN	

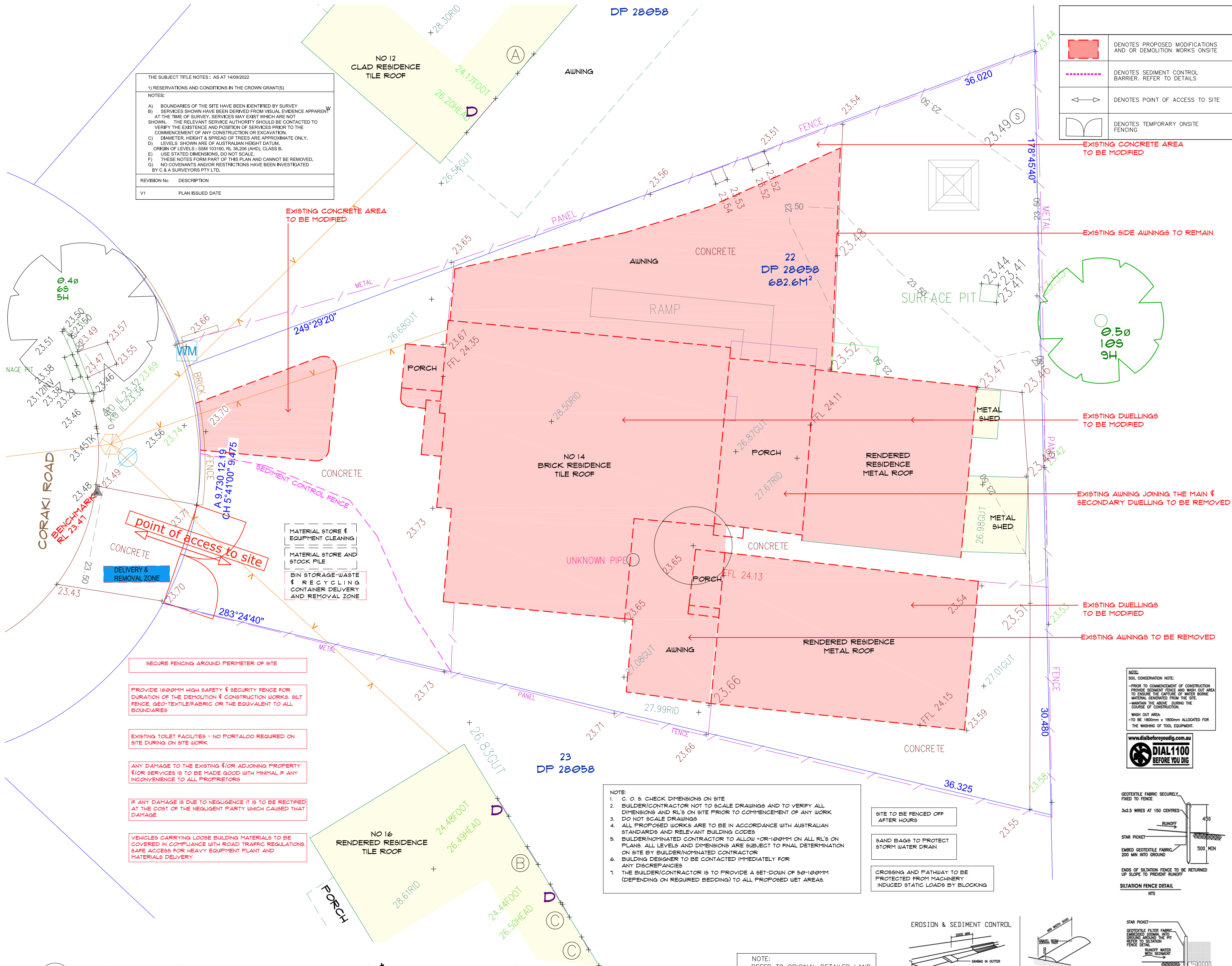
REVISION NO.
Co.3

A & H BUILDING DESIGNERS PTY LTD

SYMBOL LEGEND	
	POWER POLE
	SEWER INSPECTION POINT
	WATER HYDRANT
	WATER METER
	TREE
	TRUNK DIAMETER
	TREE SPREAD
	TREE HEIGHT
GUT	DENOTES GUTTER
RID	DENOTES RIDGE
FFL	DENOTES FINISHED FLOOR LEVEL
TK	DENOTES TOP OF KERB

LINETYPE LEGEND	
	BOUNDARY
	BUILDING EDGE
	GUTTER / RIDGE LINE / AWNING
	FENCE
	AERIAL ELECTRICITY LINE
	MAJOR CONTOURS
	MINOR CONTOURS

THE SUBJECT TITLE NOTES : AS AT 14/09/2022	
1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)	
NOTES:	
A) BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.	
C) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY. LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.	
D) ORIGIN OF LEVELS: SSM 103180, RL 36.209 (AHD), CLASS B.	
E) USE STATED DIMENSIONS, DO NOT SCALE.	
F) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.	
G) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.	
REVISION No	DESCRIPTION
V1	PLAN ISSUED DATE



	DENOTES PROPOSED MODIFICATIONS AND OR DEMOLITION WORKS ONSITE
	DENOTES SEDIMENT CONTROL BARRIER. REFER TO DETAILS
	DENOTES POINT OF ACCESS TO SITE
	DENOTES TEMPORARY ONSITE FENCING

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REVISIONS	
ISSUE 'A' (STAGE I)	- 25.01.2024
ISSUE 'B' (STAGE II)	- 15.03.2024
ISSUE 'C' (STAGE II)	- 05.04.2024
CLIENT ALVIN LAW	
ADDRESS 14 CORAKI ROAD BASS HILL NSW	
PROJECT PROPOSED GROUP HOME	
DRAWN BY A.J	
ISSUE DATE 05.04.2024	
PROJECT NO. 2024/001	
DESCRIPTION PROPOSED DEMOLITION, EROSION, SEDIMENT CONTROL & WASTE MANAGEMENT PLAN	
REVISION NO.	

STANDARD MANAGEMENT DETAILS

A & H BUILDING DESIGNERS PTY LTD

PROPOSED DEMOLITION, EROSION, SEDIMENT CONTROL & WASTE MANAGEMENT PLAN
SCALE : 1:100

NOTE:

- C. O. S. CHECK DIMENSIONS ON SITE
- BUILDER/CONTRACTOR NOT TO SCALE DRAWINGS AND TO VERIFY ALL DIMENSIONS AND RL'S ON SITE PRIOR TO COMMENCEMENT OF ANY WORK
- DO NOT SCALE DRAWINGS
- ALL PROPOSED WORKS ARE TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND RELEVANT BUILDING CODES
- BUILDER/NOMINATED CONTRACTOR TO ALLOW +OR-100MM ON ALL RL'S ON PLANS. ALL LEVELS AND DIMENSIONS ARE SUBJECT TO FINAL DETERMINATION ON SITE BY BUILDER/NOMINATED CONTRACTOR
- BUILDING DESIGNER TO BE CONTACTED IMMEDIATELY FOR ANY DISCREPANCIES
- THE BUILDER/CONTRACTOR IS TO PROVIDE A SET-UP OF 50-100MM (DEPENDING ON REQUIRED BEDDING) TO ALL PROPOSED WET AREAS.

SITE TO BE FENCED OFF AFTER HOURS

SAND BAGS TO PROTECT STORM WATER DRAIN

CROSSING AND PATHWAY TO BE PROTECTED FROM MACHINERY INDUCED STATIC LOADS BY BLOCKING

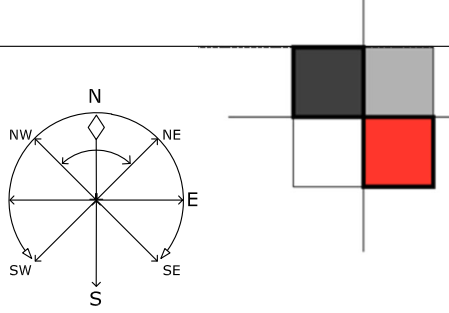
NOTE:
SOIL CONSERVATION NOTE:
-PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE SEDIMENT FENCE AND WASH OUT AREA TO ENSURE THE CAPTURE OF WATER BORNE MATERIAL GENERATED FROM THE SITE.
-MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION.
WASH OUT AREA:
-TO BE 1800mm x 1800mm ALLOCATED FOR THE WASHING OF TOOL EQUIPMENT.

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DIAL1100
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THE SUBJECT TITLE NOTES : AS AT 14/09/2022	
1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)	
NOTES:	
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F) USE STATED DIMENSIONS, DO NOT SCALE.	
G) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.	
H) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.	
REVISION No	DESCRIPTION
V1	PLAN ISSUED DATE

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 - BUILDER/CONTRACTOR NOT TO SCALE DRAWINGS AND TO VERIFY ALL DIMENSIONS AND R.L.S ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE DRAWINGS
 - ALL PROPOSED WORKS ARE TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND RELEVANT BUILDING CODES
 - BUILDER/CONTRACTOR TO ALLOW 100MM ON ALL R.L.S ON PLANS. ALL LEVELS AND DIMENSIONS ARE SUBJECT TO FINAL DETERMINATION ON SITE BY BUILDER/CONTRACTOR
 - BUILDING DESIGNER TO BE CONTACTED IMMEDIATELY FOR ANY DISCREPANCIES
 - THE BUILDER/CONTRACTOR IS TO PROVIDE A SET-DOWN OF 50-100MM (DEPENDING ON REQUIRED BEDDING) TO ALL PROPOSED WET AREAS.



BUILDING DESIGNER
AHMED JADID
119 WILLOUGHBY RD
CROWS NEST, 2065 NSW
MOB: 0404 648 251

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ISSUE 'A' (STAGE I)	- 25.01.2024
ISSUE 'B' (STAGE I)	- 15.03.2024
ISSUE 'C' (STAGE II)	- 05.04.2024

CLIENT
ALVIN LAW

ADDRESS
14 CORAKI ROAD
BASS HILL NSW

PROJECT
PROPOSED GROUP HOME

DRAWN BY
A.J

ISSUE DATE
05.04.2024

PROJECT NO.
2024/001

DESCRIPTION
PROPOSED SITE PLAN

REVISION NO.

C&A

A & H BUILDING DESIGNERS PTY LTD

	LANDSCAPE AREA	142.0 M ²
	CONCRETE AREA	291.8 M ²
	BUILDING FOOTPRINT (EXISTING)	248.8 M ²
TOTAL AREA ~ 682.6 M ²		

PROPOSED GROUP HOME CALCULATIONS TABLE			
PROPOSED ALTERATIONS & ADDITIONS FOR A GROUP HOME	PROPOSED	REQUIRED/ALLOWABLE	COMPLIANT
MINIMUM STREET FRONTAGE	121.9 M (EXISTING)	N/A	N/A
SITE AREA	682.6 M ²	N/A	N/A
EXISTING PRIMARY DWELLING	109.2 M ²	-----	-----
EXISTING OUT BUILDING	53.2 M ²	-----	-----
EXISTING GRANNY FLAT	60.8 M ²	-----	-----
TOTAL LANDSCAPING AREA	142.0 M ² (20.8%)	136.5 M ² (20%)	-----
MAXIMUM BUILDING HEIGHT	8.50 M	-----	-----
CAR PARKING	2 SPACES	2 SPACES	YES

PROPOSED SITE PLAN
SCALE : 1:100

NOTE:
REFER TO ORIGINAL DETAILED LAND SURVEY PLAN FOR ALL ON-SITE DETAILS

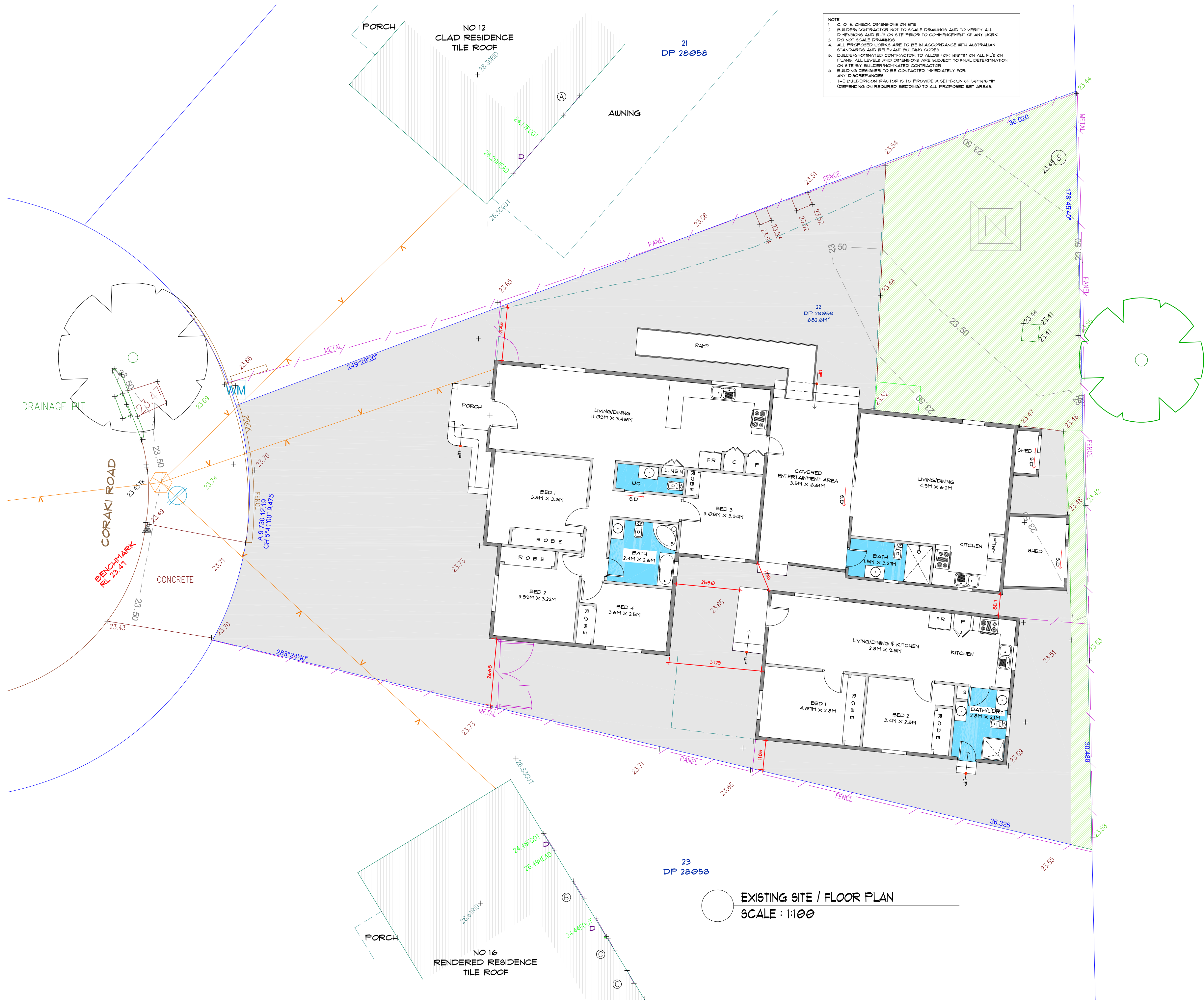
NOTE REGARDING WINDOW, DOOR & SKYLIGHT SIZES:
PROPOSED SIZES DO NOT INCLUDE ANY REVEALS AND OR FRAMING - REFER TO BASH REQUIREMENTS AS WELL AS TO ELEVATIONS FOR MORE INFORMATION. NOTIFIED BUILDER/CONTRACTOR TO ORGANISE AND MANAGE ALL NECESSARY FRAMING PRIOR TO ORDERING AND OR INSTALLATION.

ALL PROPOSED TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH "AS1547 - 2019 - RESIDENTIAL TIMBER-FRAMED CONSTRUCTION"

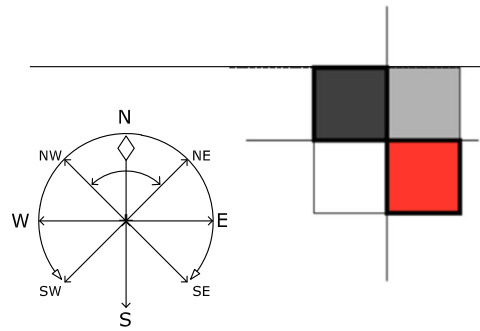
ALL PLUMBING AND DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS 3500

EXTERNAL EXIT GATES THAT HAVE PAD LOCKS AND PADLOCK FURNITURE THEY ARE TO BE PERMANENTLY REMOVED TO ALLOW A SAFE AND EXPEDIENT EXIT WITHOUT HAVING TO USE A KEY TO UNLOCK THE GATES IN THE EVENT OF AN EMERGENCY.

EXTERNAL EXIT GATES THAT HAVE PAD LOCKS AND PADLOCK FURNITURE THEY ARE TO BE PERMANENTLY REMOVED TO ALLOW A SAFE AND EXPEDIENT EXIT WITHOUT HAVING TO USE A KEY TO UNLOCK THE GATES IN THE EVENT OF AN EMERGENCY.



NOTE:
1. G. O. S. CHECK DIMENSIONS ON SITE
2. BUILDER/CONTRACTOR NOT TO SCALE DRAWINGS AND TO VERIFY ALL DIMENSIONS AND RLS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK
3. DO NOT SCALE DRAWINGS
4. ALL PROPOSED WORKS ARE TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND RELEVANT BUILDING CODES
5. BUILDER/NOMINATED CONTRACTOR TO ALLOW 100-100MM ON ALL RLS ON PLANS. ALL LEVELS AND DIMENSIONS ARE SUBJECT TO FINAL DETERMINATION ON SITE BY BUILDER/NOMINATED CONTRACTOR
6. BUILDING DESIGNER TO BE CONTACTED IMMEDIATELY FOR ANY DISCREPANCIES
1. THE BUILDER/CONTRACTOR IS TO PROVIDE A SET-DOWN OF 50-100MM (DEPENDENT ON REQUIRED BEDDING) TO ALL PROPOSED WET AREAS.



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119 WILLOUGHBY RD
CROWS NEST, 2065 NSW
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CLIENT
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ADDRESS
14 CORAKI ROAD
BASS HILL NSW

PROJECT
PROPOSED GROUP HOME

DRAWN BY
A.J

ISSUE DATE
05.04.2024

PROJECT NO.
2024/001

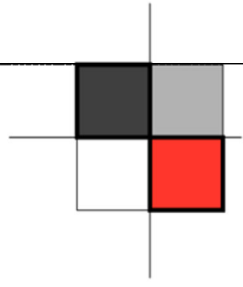
DESCRIPTION
EXISTING SITE/FLOOR PLAN

REVISION NO.

Ce.b

A & H BUILDING DESIGNERS PTY LTD

EXISTING SITE / FLOOR PLAN
SCALE : 1:100



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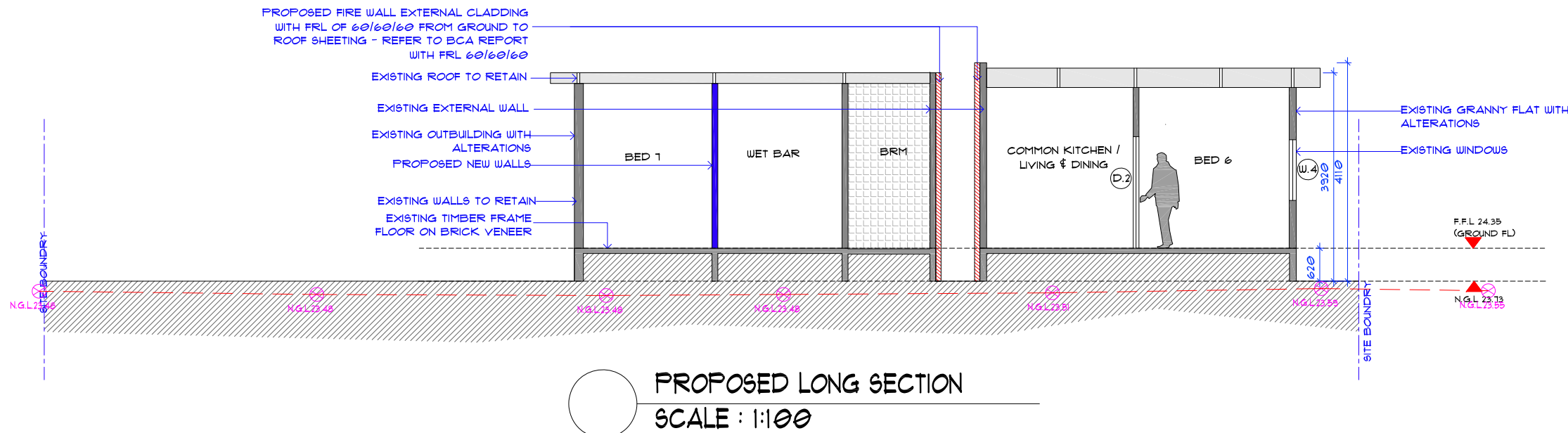
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DESCRIPTION
PROPOSED LONG SECTION
& ELEVATIONS

REVISION NO.

Co.

A & H BUILDING DESIGNERS PTY LTD



NOTE
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2. BUILDER/CONTRACTOR NOT TO SCALE DRAWINGS AND TO VERIFY ALL DIMENSIONS AND RL'S ON SITE PRIOR TO COMMENCEMENT OF ANY WORK
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5. BUILDER/NOMINATED CONTRACTOR TO ALLOW FOR 100MM ON ALL RL'S ON PLANS. ALL LEVELS AND DIMENSIONS ARE SUBJECT TO FINAL DETERMINATION ON SITE BY BUILDER/NOMINATED CONTRACTOR
6. BUILDING DESIGNER TO BE CONTACTED IMMEDIATELY FOR ANY DISCREPANCIES
7. THE BUILDER/CONTRACTOR IS TO PROVIDE A SET-OUT OF 50-100MM (DEPENDING ON REQUIRED BEDDING) TO ALL PROPOSED WET AREAS

NOTE
REFER TO ORIGINAL DETAILED LAND SURVEY PLAN FOR ALL ONSITE DETAILS

NOTE REGARDING WINDOW, DOOR & SKYLIGHT SIZES:
PROPOSED SIZES DO NOT INCLUDE ANY REVEALS AND OR FRAMING - REFER TO BASIX REQUIREMENTS AS WELL AS TO ELEVATIONS FOR MORE INFORMATION. NOMINATED BUILDER/CONTRACTOR TO ORGANISE AND MANAGE ALL NECESSARY FRAMING PRIOR TO ORDERING AND OR INSTALLATION

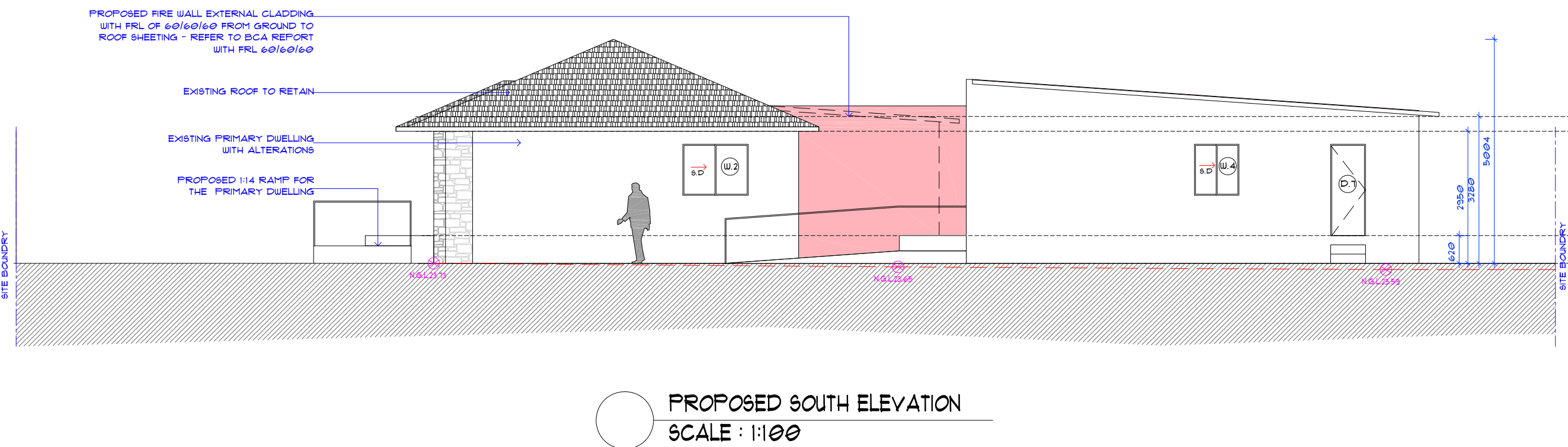
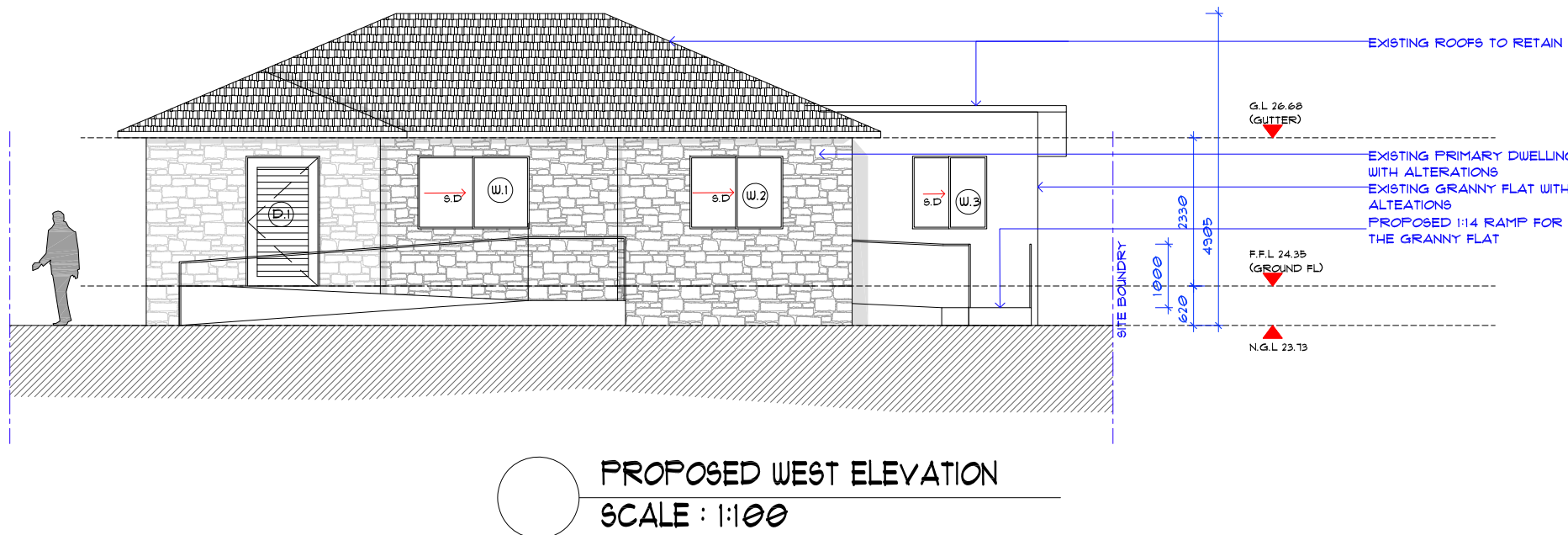
ALL PROPOSED TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH "AS4684.2 - 2019 - RESIDENTIAL TIMBER-FRAMED CONSTRUCTION"

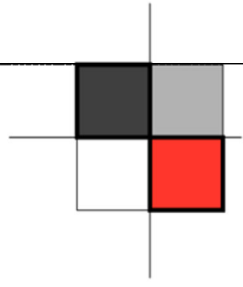
ALL PLUMBING AND DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS 3500

LANDSCAPE AREA	142.0 M ²
CONCRETE AREA	291.8 M ²
BUILDING FOOTPRINT (EXISTING)	248.8 M ²
TOTAL AREA - 682.6 M ²	

PROPOSED GROUP HOME CALCULATIONS TABLE			
PROPOSED ALTERATIONS & ADDITIONS FOR A GROUP HOME	PROPOSED	REQUIRED/ALLOWABLE	COMPLIANT
MINIMUM STREET FRONTAGE	1215 M (EXISTING)	N/A	N/A
SITE AREA	682.6 M ²	N/A	N/A
EXISTING PRIMARY DWELLING	109.2 M ²	-----	-----
EXISTING OUT BUILDING	53.2 M ²	-----	-----
EXISTING GRANNY FLAT	60.8 M ²	-----	-----
TOTAL LANDSCAPING AREA	142.0 M ² (20.8%)	136.5 M ² (20%)	-----
MAXIMUM BUILDING HEIGHT		8.50 M	
CAR PARKING	2 SPACES	2 SPACES	YES

PROPOSED GROUP HOME DOOR & WINDOW SCHEDULE			
TYPE	SIZE IN MM (WIDTH X HEIGHT)	SILL	SOFFIT
D.1	1160 X 2040	24.35	26.39
D.2	900 X 2100	24.35	26.45
D.3	1000 X 2040	24.35	26.39
D.4	900 X 2040	24.35	26.39
D.5	1000 X 2100	24.35	26.45
D.6	1200 X 2040	24.35	26.39
D.7	800 X 2040	24.35	26.39
W.1	1760 X 1140	25.25	26.39
W.2	1460 X 1140	25.25	26.39
W.3	1175 X 1140	25.25	26.39
W.4	1000 X 1140	25.25	26.39
W.5	900 X 1140	25.25	26.39
W.6	1800 X 1140	25.25	26.39
W.7	1200 X 1140	25.25	26.39





BUILDING DESIGNER
AHMED JADID
119 WILLOUGHBY RD
CROWS NEST, 2065 NSW
MOB: 0404 648 251

REVISIONS	
ISSUE 'A' (STAGE I)	- 25.01.2024
ISSUE 'B' (STAGE I)	- 15.03.2024
ISSUE 'C' (STAGE II)	- 05.04.2024

CLIENT
ALVIN LAW

ADDRESS
14 CORAKI ROAD
BASS HILL NSW

PROJECT
PROPOSED GROUP HOME

DRAWN BY
A.J

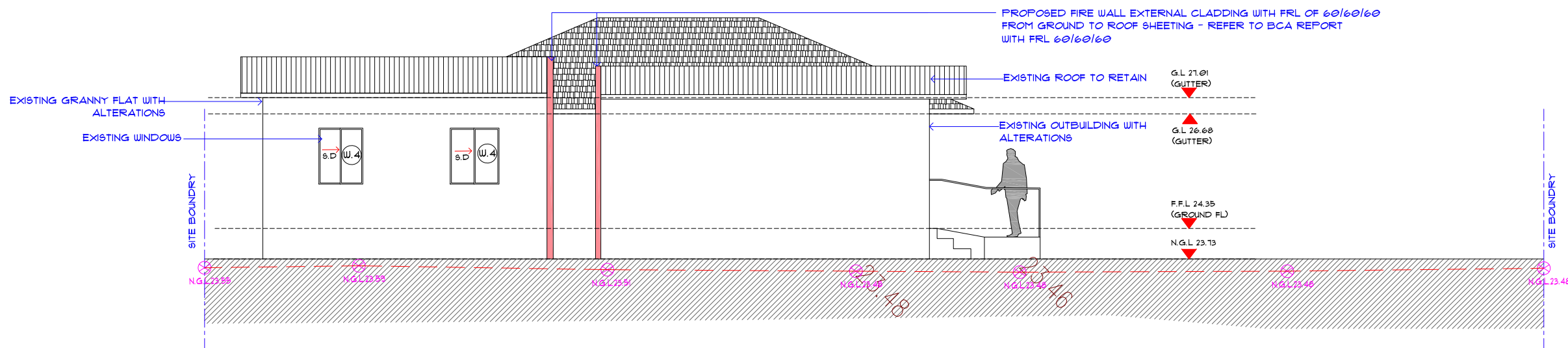
ISSUE DATE
05.04.2024

PROJECT NO.
2024/001

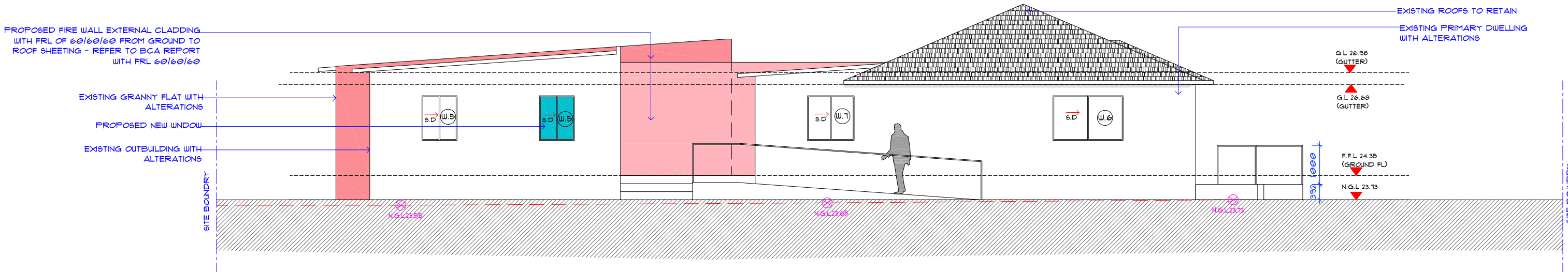
DESCRIPTION
PROPOSED ELEVATIONS

REVISION NO.

Ce.10



PROPOSED EAST ELEVATION
SCALE : 1:100



PROPOSED NORTH ELEVATION
SCALE : 1:100

	LANDSCAPE AREA 142.0 M ²
	CONCRETE AREA 231.8 M ²
	BUILDING FOOTPRINT (EXISTING) 248.8 M ²
TOTAL AREA - 682.6 M ²	

PROPOSED GROUP HOME CALCULATIONS TABLE			
PROPOSED ALTERATIONS & ADDITIONS FOR A GROUP HOME	PROPOSED	REQUIRED/ALLOWABLE	COMPLIANT
MINIMUM STREET FRONTAGE	1219 M (EXISTING)	N/A	N/A
SITE AREA	682.6 M ²	N/A	N/A
EXISTING PRIMARY DWELLING	109.2 M ²	-----	-----
EXISTING OUT BUILDING	53.2 M ²	-----	-----
EXISTING GRANNY FLAT	60.8 M ²	-----	-----
TOTAL LANDSCAPING AREA	142.0 M ² (20.0%)	136.5 M ² (20.0%)	-----
MAXIMUM BUILDING HEIGHT		8.50 M	
CAR PARKING	2 SPACES	2 SPACES	YES

NOTE:
1. C. O. S. CHECK DIMENSIONS ON SITE
2. BUILDER/CONTRACTOR NOT TO SCALE DRAWINGS AND TO VERIFY ALL DIMENSIONS AND RL'S ON SITE PRIOR TO COMMENCEMENT OF ANY WORK
3. DO NOT SCALE DRAWINGS
4. ALL PROPOSED WORKS ARE TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND RELEVANT BUILDING CODES
5. BUILDER/NOMINATED CONTRACTOR TO ALLOW FOR 100MM ON ALL RL'S ON PLANS. ALL LEVELS AND DIMENSIONS ARE SUBJECT TO FINAL DETERMINATION ON SITE BY BUILDER/NOMINATED CONTRACTOR
6. BUILDING DESIGNER TO BE CONTACTED IMMEDIATELY FOR ANY DISCREPANCIES
7. THE BUILDER/CONTRACTOR IS TO PROVIDE A SET-DOWN OF 50-100MM (DEPENDENT ON REQUIRED BEDDING) TO ALL PROPOSED WET AREAS

NOTE
REFER TO ORIGINAL DETAILED LAND SURVEY PLAN FOR ALL ONSITE DETAILS

NOTE REGARDING WINDOW, DOOR & SKYLIGHT SIZES:
PROPOSED SIZES DO NOT INCLUDE ANY REVEALS AND OR FRAMING - REFER TO BASIX REQUIREMENTS AS WELL AS TO ELEVATIONS FOR MORE INFORMATION. NOMINATED BUILDER/CONTRACTOR TO ORGANISE AND MANAGE ALL NECESSARY FRAMING PRIOR TO ORDERING AND OR INSTALLATION

ALL PROPOSED TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH "AS1684.2 - 2010 - RESIDENTIAL TIMBER-FRAMED CONSTRUCTION"

ALL PLUMBING AND DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS 3500

PROPOSED GROUP HOME DOOR & WINDOW SCHEDULE			
TYPE	SIZE IN MM [WIDTH X HEIGHT]	SILL	SOPRIT
D.1	1160 X 2040	24.35	26.35
D.2	900 X 2100	24.35	26.45
D.3	1000 X 2040	24.35	26.35
D.4	900 X 2040	24.35	26.35
D.5	1000 X 2100	24.35	26.45
D.6	1200 X 2040	24.35	26.35
D.7	800 X 2040	24.35	26.35
W.1	1760 X 1140	25.25	26.35
W.2	1460 X 1140	25.25	26.35
W.3	1175 X 1140	25.25	26.35
W.4	1000 X 1140	25.25	26.35
W.5	900 X 1140	25.25	26.35
W.6	1600 X 1140	25.25	26.35
W.7	1200 X 1140	25.25	26.35